



THE REGIONAL MUNICIPALITY OF YORK

ADDENDUM #3

BID # RFTC-2623-25-C24073

DATE: Friday, March 27, 2026

FOR: York Region Administrative Centre Renovation - Package E

CLOSING DATE: Thursday, April 2, 2026 1:00 PM Eastern Standard Time

Bidders are requested to incorporate the changes/clarifications noted below to the above noted Bid Documents in your possession and be governed accordingly.

1. BIDDERS QUESTIONS (Q) AND REGION'S RESPONSES

Question 1:

Please provide Com spec:

1. Type of cable - Cat.6 or Cat6A
2. Existing product brand.
3. Warranty type.
4. Patch cords sizes, if applicable.

Answer 1:

Cable grade is Category 6a. For a full list of requirements and example manufacturers, refer to specifications. Contractor must provide 1-year warranty, and provider the Region with a 25-year cable manufacturer certification; for both items refer to the specifications for a full list of requirements. Patch cord lengths are noted in specifications. The diameter of the patch cords on the Telecom Room end must be a small diameter product while maintaining channel integrity.

Question 2:

With respect to our interest in participating in this bid, we would like to submit the following questions for clarification. We look forward to your response.

1. Fire Alarm Contractor

Based on the drawing notes, it appears that all modifications, verification, supply, and installation of the fire alarm system are to be completed by the base building contractor, with the electrical contractor carrying the associated costs. Could you please confirm if this understanding is correct?

Additionally, could you please provide the contact information for the mandatory fire alarm contractor/trade that we are required to coordinate with?

2. Existing Panels

Can you confirm whether all existing panels are manufactured by Square D?

3. Pac Pole Requirement

Could you please provide specifications or any available details regarding the Pac Pole requirement?

4. Mandatory Trades – Data/Communications & AV

Are there any mandatory trades for data/communications and/or audiovisual (AV) systems? If so, could you please provide their contact information?

5. Missing Drawing Detail

On drawing TE 0.6, Detail 7 is referenced; however, the page appears to be incomplete and only shows Details 1, 2, and 3. Could you please provide the missing detail or a complete version of this drawing?

Answer 2:

These questions were answered on Addendum #2.

Question 3:

Can you please clarify that Delta Relay panel programming and integration is the part of BAS or we have to use the Regulvar as last time?

Answer 3:

For all BAS work, it should be sent to all three Delta vendors, Viridian, Ainsworth, and Regulvar including programming and integration

Question 4:

Do you have any list for fire alarm and communication contractor

Answer 4:

This was answered in Addendum 2.

Question 5:

Glazing Film GLF-3 is listed in the Finish Schedule; however, it does not appear on the plan drawings. Please provide more details

Answer 5:

Delete GLF-3

Question 6:

Floor Tile FT-1 and Tile Base B-2 are listed in the Finish Schedule; however, it does not appear on the plan drawings. Please clarify

Answer 6:

Delete FT-1 and B-2

Question 7:

Please confirm the transition at the Stage area. Drawing ID 4.02 indicates TR-3, while Drawing ID 9.01, Detail 1, indicates TR-1.

Answer 7:

See attached Addendum No.2, dated March 27, 2026, issued by Zeidler Architecture Inc. for more information.

Question 8:

Section 01 10 00 indicates that construction work is not permitted during normal business hours. However, it is understood that certain non-noisy activities may be allowable once work is contained within a confined or enclosed area. Please clarify whether non-disruptive, non-noisy construction activities are permitted during weekdays 8am-4.30pm when fully enclosed and not impacting building occupants.

Answer 8:

Correct. Non-noisy activities may be allowable once work is contained within a confined or enclosed area

Question 9:

Please clarify if phase 1 and 2 operations can occur concurrently

Answer 9:

NO. Otherwise it will NOT be phased. Interior office space will not be ready during phase 1.

Question 10:

Please provide specification and section detail for Glass Guard and Railing on New Stage . Is the glass true curve or it would be segmented ?

Answer 10:

See attached Addendum No.2, dated March 27, 2026, issued by Zeidler Architecture Inc. for more information.

Question 11:

Section 01 50 00 - 1.1.3.4 - Temporary Dust Tight Partitions: Please advise where this requirement is shown on the drawings?

Answer 11:

See attached Addendum No.2, dated March 27, 2026, issued by Zeidler Architecture Inc. for more information.

Question 12:

Please provide specification and additional information for the PGW Hoarding doors (shown on door schedule too) including - Door height, Door material and Frame material

Answer 12:

See attached Addendum No.2, dated March 27, 2026, issued by Zeidler Architecture Inc. for more information.

Question 13:

Please clarify the ceiling paint. The RCP Legend indicates PT-1 is applied to existing surfaces, new GWB ceilings, and bulkheads; however, ID 4.11 Wall Finish Note 18 and the Finish Schedule both list PT-4 for the ceiling. Please confirm the correct paint finish.

Answer 13:

PT4 is the correct paint finish for the ceiling

Question 14:

Please confirm the extent of PT-6 at MW-1. Drawing ID 4.11 indicates paint on both the millwork and the adjacent wall, while the millwork elevation on ID 7.01, Detail 3, shows paint applied only to the millwork.

Answer 14:

Detail 3 is correct, PT6 only to be applied as noted.

Question 15:

Wall Finish PT-3 is listed in the Finish Schedule; however, it does not appear on the plan drawings. Please clarify

Answer 15:

Removed.

Question 16:

Please provide finish on Stage Podium. Is it CP-3 atop WV-1 and steel stud framing below?

Answer 16:

Entire podium to be WV-1- flooring below as specified.

Question 17:

Drawing ID8.01 detail 4 is missing (it is referenced on 3/ID7.01), please provide this detail.

Answer 17:

To match section 3/Id80.1 – will provide exact section for IFC

Question 18:

Please provide Column height that needs to be painted.

Answer 18:

4267mm AFF SITE VERIFY – to align with the existing bulkhead at the entrance to the washroom and committee room B

Question 19:

Please provide the deck height (at u/s of slab) from FFE for the various floors.

Answer 19:

The first floor has a FF height of 11'-0". It is understood that all floors are consistent with this dimension. GC to site verify.

Question 20:

Please confirm locations to detail 1/S101 existing concrete slab core infill detail. Notes on MEP Dwgs indicate Firestopping and sealing of all floor openings after removals of FCU's and related hydronic branching of pipes and ducts, while detail 1/S101 indicates metal plates with grout in cores

Answer 20:

As noted on 1/S-101, existing cores to be abandoned as part of current scope to be infilled per this detail. The contractor is to coordinate with GC, owner, and architect to determine all core locations to be filled. Additionally, this fire protection requirement is noted on 1/S-101. Contractor shall refer to architectural drawings for the necessary fire protection.

Question 21:

Commercial general liability insurance is required by Appendix D, however, can the Owner also consider adding a requirement for Wrap up liability insurance, which would provide dedicated primary limits to the project.

Answer 21:

Region will reserve our right to review and consider a Wrap Up policy with respect to the insurance requirements of this project.

Question 22:

Builders Risk is required to include Owner provided Products. Can the Owner confirm the value of Owner provided Products that need to be insured under the Builders Risk policy.

Answer 22:

The Project team should advise the vendor of the value of Owner provided materials.

Question 23:

GC 11.2.1 makes the Contractor responsible for the payment for all deductibles, however the Contractor should not be responsible for payments arising from an act or omission of the Owner. Can the Owner make this change accordingly?

Answer 23:

The Contractor is responsible for any deductible payable in accordance with the terms and conditions of their insurance policies. The Owner has no contract with the Contractor's insurer. The Contractor's insurer may elect to pursue their subrogated interests on behalf of the Contractor.

Question 24:

GC 11.2.2 require the insurance policies to be in place until the Work is completed to the satisfaction of the Owner. The insurance policies should be required to be in place for a defined term. The Builders Risk insurance policy should only remain in place until Substantial Performance, as once the work is turned over and put to its intended use the insurance carriers will not remain on risk, and the property should instead be insured by an operational property policy at that time

Answer 24:

Builder's Risk insurance should remain in place until Substantial Completion is granted.

Question 25:

Please clarify Addendum 1 Q&A #2. If the new Altos supply and install scope is now included under the cash allowance, will the bid form be revised to remove the requirement to select a prequalified subtrade (Pro Office or Choice Office)? Alternatively, is the cash allowance intended only for modifications to the Altos scope, meaning the GC must still carry the full new Altos supply and install cost—using either Pro Office or Choice Office—as originally required in the bid form?

Answer 25:

The contractor is to carry certified Altos Installers. The cash allowance is to be used during construction if there are changes required on site, outside the scope of work, pertaining to Altos partitions only.

Question 26:

For Electrical rm 307:

On drawing T.E.-0.3 the single line diagram shows panel LP-B3B1 as existing. On drawing T.E.-0.7 the panel schedule for LP-B3B1 shows it as a new installation.

If we are installing it new, is a transformer required? The Electrical room detail does not show a transformer in that room.

Answer 26:

Existing panel and transformer to remain. Disregard all panel schedule notes.

Question 27:

There are two files named as 'RFTC-2623-25-C24073 on Addendum #2', one of versions referred to the DSS and Hazardous Materials Survey Report -17250 Yonge Street But I couldn't find it, please advise if whether this version is still valid

Answer 27:

There is no DSS and Hazardous Materials Survey Report -17250 Yonge Street. The only attachment for Addendum #2 was the Structural Drawings.

Question 28:

Please confirm that all work except noisy work can take place during regular daytime working hours.

Answer 28:

No noisy and odorous work can occur during regular business hours.

Question 29:

Please provide existing slab thickness and assembly to Ground, Level 2, Level 3, & Level 4. Is it 150mm thick suspended slab? This will assist us in pricing the coring and grouting scope.

Answer 29:

Per the existing drawings, suspended slab thicknesses vary as follows:

- Level 1 Block 'B' and 'C': 254mm
- Level 2 Block 'D': 175mm
- Level 2 Block 'B': 150mm
- Level 3 Block 'B': 175mm

Question 30:

Drawings M-200/M-201 call for FCU removal with penetrations to be firestopped, while structural notes on 1S-101 reference grouting of core holes. Please confirm:

- Should abandoned penetrations be firestopped only, or plated and grouted per structural requirements?
- For each FCU, should we allow for five 150 mm diameter core holes (CHS, CHR, HWS, HWR, C) through a 150 mm slab, or advise correct quantities or sizes?

Answer 30:

Abandoned penetrations shall be infilled per structural detail 1/S-101. Steel plates and grout are required, with the steel plates requiring fire protection. Arch and MEP to confirm quantities and sizes of core holes to be infilled.

Question 31:

Please provide specifications, sizing and thickness for the metal plates to u/s of existing concrete slab infills as shown on 1/S-101. Are we to allow for 350mm x 350mm x 3.2mm thickness steel plates and 4 anchor bolts per core hole or are we to allow 350mm x 1550mm x 3.2mm thick steel plates for a set of 5 core holes assuming each core hole is 150mm dia and that the spacing between core holes is also 150mm? Please advise.

Answer 31:

Steel plates shall be 3.2mm thick and extend at a minimum of 100mm each side of the core, as noted on 1/S-101. Therefore, if the core holes are 150mm diameter (pending arch and MEP confirmation), the plates shall be 350mmX350mm minimum. Allow for separate plates and 4 anchor bolts at each individual core. Plates shall conform to CAN/CSA-G40.20/G40.21 Grade 300W, as stated in structural notes on S-100.

Question 32:

Due to the Liquidated Damages Clause, in accordance with Appendix C - Form of Contract, please can you confirm that the construction/mobilization start date for phases 1 & 2 commences simultaneously on September 14, 2026, phase 1 completion date is Jan

20, 2027 (90 business days), and phase 2 substantial completion date is February 15, 2028 (360 business days).

Answer 32:

Incorrect. Phase 1 is to start as soon as the Region issues the letter to commence. It is anticipated the Phase 1 will start in May 2026.

Question 33:

Please advise what is the countertop finish for MW-8 dining millwork as shown on 2/ID7.03

Answer 33:

4th floor scope has been removed from project. See attached addendum.

Question 34:

RFI 030-Drawing details 2/ID9.07 and 1/ID9.06 shows new metal wall base MTL-1 millwork scope at the great hall counter. Is this base located anywhere else as well?

Answer 34:

No, metal base only to be used at great hall counter.

Question 35:

RFI 031-Drawing details 2 & 4 /ID7.03 shows 4th floor millwork. Are we to supply & install these? If yes, please advise if we will be provided a floor plan for the 4th floor.

Answer 35:

4th floor scope has been removed from project. See attached addendum.

Question 36:

Subject: Clarification on Bonding Requirements

Our understanding is that the Labour & Material Payment Bond and Performance Bond are to be provided to the Region upon award of the contract. We are currently performing work for the Region under an existing contract where bonding was provided at the time of award and in force. Due to our limitations in bonding capacity, we are not able at this time to provide a bid bond. We anticipate we will complete the current contract which will free up our bonding.

Please confirm that it is acceptable to provide the Labour & Material Payment Bond and Performance bonding for this new project if we are fortunate to win the award.

Answer 36:

Bid bond is still required. No exceptions.

Question 37:

The Samsung LH115QHFEBGXZA OFE 115 dvLED display comes standard with a wall mount from the manufacturer. Can you please confirm if this is still in the box or a wall mount will have to be provided by the AV vendor.

Answer 37:

AV Vendor to provide wall bracket that can support the TV monitor.

Question 38:

RFI 040 - In accordance with 01 50 00 1.3, the GC is supposed to have a site office in the place of work and also have a meeting room to accommodate 15 people. Please advise if the site offices will be in the parking lot or if it is to be constructed within the construction work area inside the building.

Answer 38:

The contractor will create a site office within the area of work. York Region Project Lead will arrange for a meeting room within the building for meetings.

Question 39:

Please confirm the following:

Altos walls and doors are supplied by the Owner

Installation of the above is by one of the approved installers (paid for by Owner)

General contractor's only responsibility is to co-ordinate the installation of the above

Answer 39:

Altos walls and doors are supplied by the Owner. General Contractor is to carry one of two approved installers as noted in contract documents, along with its associated cost, from the installer.

Question 40:

Question submitted on behalf of an electrical subcontractor:

We are currently in the process of reviewing the project plans. However, we have noticed that there is no available information regarding the fire alarm system requirements. Specifically, we are unable to locate the fire alarm panel, as well as there is no fire alarm single-line diagram provided.

In addition, we kindly request information on the make and model of the existing electrical panel so that we can provide an accurate price for the required loose breakers.

Answer 40:

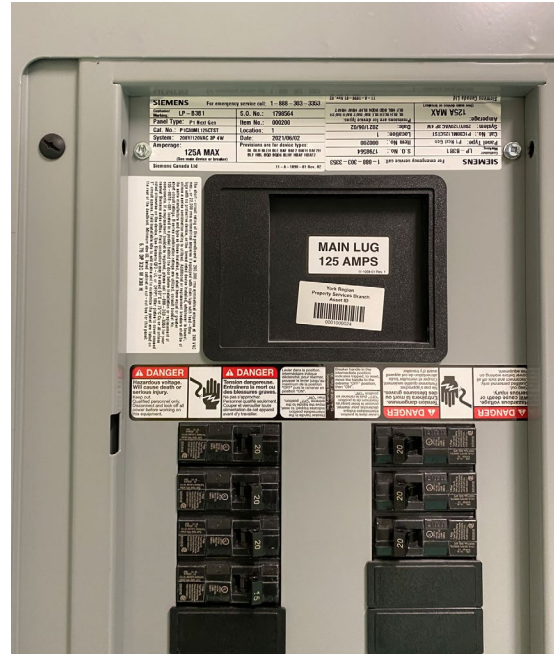
Fire alarm panel located in Building Operators Office in Level P1 of Block D, see snip below.



For the scope of a tenant fit-out, we believe fire alarm single line is not necessary.

Existing electrical panels include: Federal Pioneer, Square D, and Siemens. Photos attached for reference.





Question 41:

Please provide section details for Great Hall Counter to clarify Construction Intent

Answer 41:

Section details are found on sheet ID9.05. Inside of desk to be WD1 and outside face to be AF-2

Question 42:

What is the elevation AFF of horizontal shaft at 3rd floor stairwell and slab height in this area

Answer 42:

Shaft removed from scope. Refer to Addendum No.2, dated March 27, 2026, issued by Zeidler Architecture Inc. for more information.

Question 43:

Provide wall assembly for P08 and P09 typically used around duct shaft

Answer 43:

P08 partition removed from scope. Refer to Addendum No.2, dated March 27, 2026, issued by Zeidler Architecture Inc. for more information.

Question 44:

What is the partition plan keynote for C10 at amenities storage 210

Answer 44:

Note removed.

Question 45:

What is the wall type for wall demising office 21250 and verts atrium 238B on 2nd floor typical (see 1/ID2.03)?

Answer 45:

Existing glazing wall to remain.

Question 46:

Is there new furring drywall partition next to existing area (shaded gray) at stage 140B (see 1/ID2.02)? If yes, please provide wall type.

Answer 46:

No furred-out partition required. Existing wall to be finished with felt as noted.

Question 47:

According to reflected ceiling general requirements item #3.11 on ID0.01 : All gwb ceilings are constructed to a level 5 finish. Does this note applies to new gwb ceiling and existing gwb ceiling?

Answer 47:

Provide the same drywall finish level to all new and existing gypsum board ceilings within the project scope to ensure a consistent, uniform appearance. Existing ceilings that are patched, modified, or scheduled to receive new paint shall be prepared to match the specified finish level of new ceilings.

Bidders shall acknowledge receipt of all addenda to this RFT prior to submitting their Bid. Bids that do not contain evidence of receipt of all addenda will be deemed to be “incomplete” and will not be accepted in the Bidding Website.

This addendum shall remain attached to and form part of the Contract Documents.

Yours truly,

A handwritten signature in black ink, appearing to read 'Nanda Persaud', with a stylized flourish at the end.

Nanda Persaud

Senior Procurement Specialist
Procurement Office

Attachments: The following document has been uploaded separately to the Bidding Website

1. Zeidler Architect, dated March 27, 2026